



STEADFAST HOME INSPECTION

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PROPERTY INSPECTION REPORT

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11/20/2025



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Scope of Inspection: This inspection was performed for the benefit of a homeowner or prospective buyer. It can be considered a full, general home inspection, performed in accordance with the InterNACHI Standard of Practice. As such, we inspect the readily accessible, visually observable, installed systems and components of a home. Any items or areas not inspected have been noted in this report. For the full scope and limitations of the inspection, please review the InterNACHI [Standard of Practice](#).

Although the inspector may use and include photos from a thermal imaging device, this tool and images are only supplemental to the home inspection. You should be aware that the inspector has not performed a full, comprehensive thermographic inspection, but has used the device as a peripheral tool only.

The inspector is not required to enter any areas that are deemed dangerous, for any reason. Any areas that are not safe, readily accessible and/or visible to the inspector will not be included in the home inspection report. This includes areas obstructed by the occupants' belongings. If there is an area that was not inspected that you want the inspector to evaluate, we would be happy to do it when the obstruction has been removed.

Your home inspection is a snapshot in time. The defects found by the inspector during your inspection are the ones that were present at the time of the inspection. While we do our best to identify potential future problems and suggest preventive measures, you will experience future issues in the house that cannot be predicted by your inspection.

Unless otherwise noted in this report, components of the home observed by the inspector were viewed as acceptable and functional at the time of inspection.

Any opinions and all guidance on repairs are the views of the individual inspector. Any repairs undertaken should be completed by a qualified professional and licensed, where applicable. No comments in this report constitute a requirement to have work done, except where required by law.

There may be comments made in this report that exceed the required reporting of the Standard of Practice. These comments (if present) were made as a courtesy to give you as much information as possible about the home. Exceeding the Standard of Practice will only happen when we feel we have the experience, knowledge, or evidence to do so. There should not be an expectation that the Standard of Practice will be exceeded throughout the inspection. Any comments that exceed the standards will be followed by a recommendation for further evaluation and repairs by applicable tradespeople.

A Note About Code and Zoning: Home inspectors are not code inspectors and may make recommendations that exceed certain code requirements, in the interest of safety. While many home defects have roots in code compliance, inspectors do not enforce building codes. Therefore, it is always wise to check with the Building and Codes Department of your local township or municipality for permit information and code requirements when there is a question regarding the proper construction methods or code requirements.

Home inspectors are not zoning inspectors and do not attempt to determine the legality of additions or changes to homes. This may impact the value of the property. We highly recommend you work with your realtor and the local jurisdiction to determine the legality or permit status of any and all changes to the property.

Edits to Report: We reserve the right to make changes to the report for up to 48 hours after it is provided. This helps us ensure that we are providing our reports in the most timely manner possible. If any major changes or corrections are made after it is initially provided, you will be notified; small changes may be made without notification.

Notice to Third Parties: Receipt of this report by any purchasers of this property other than the parties identified on the cover page of this report, is not authorized by the inspector. Liability under this report is limited to the party identified on the cover page of this report.

1: HOW TO READ THIS REPORT

Information

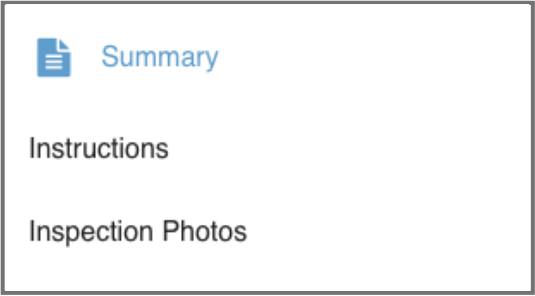
Observations

Observations in this report are grouped into the following categories:

- Information & Maintenance** - These items are either informational and need no correction (including upgrades that could be made to improve the safety or function of the property), or items that may need periodic or regular maintenance and corrections can often be handled by a handyman or experienced homeowner.
- Needs Attention** - These include any defects to a system or component, even if the overall system may remain functional. These items will often require a qualified professional to provide further evaluation or recommend a course of correction.
- Urgent & Safety** - Items in this category either need urgent attention (e.g. leaks) or pose a potential safety risk, either now or in the future. It is highly recommended that these items be addressed as soon as possible.

Navigation

Click on section labels on the left to navigate directly to a specific section of the report.



At the top of the report, buttons will take you to the Full Report, a Summary of all observations, or a list of only the Urgent and Safety category of observations.



2: INSPECTION PHOTOS

Information

Link to All Inspection Photos

Home inspections are predominantly a visual process, and we take many photos throughout the property. Not all of the photos are used in this report. As an added service, we've uploaded all the photos from our inspection to Google photos and provided a link below. These photos will be available for you to view or download for one month from the date of this inspection. If you wish to keep the photos, you may download them from Google photos, but please do so before the month expires.

(Not all of the photos include a specific item of concern.)

Link to photos: <https://photos.app.goo.gl/D3V9SaHvp688fhj39>

3: INSPECTION DETAILS

Information

Year Built

1920

Age of Property is based on available public information and is neither verified nor guaranteed by the Inspector.

Property

Multi-Family

Property Status

Furnished, Vacant

Present at Inspection

Listing Agent

Utilities Present

Gas, Water, Electric

Water Source

City Water

Parking

None

Foundation

Raised

Weather

Cloudy, Recent Rain

Temperature

60 Fahrenheit (approximate)

Inspection Limitations

See Limitations tab to learn about the limitations of this inspection.

Limitations

Limitations

SYSTEMS & COMPONENTS NOT INSPECTED

Certain systems and components of homes are beyond the scope of this inspection. This includes systems such as sprinkler systems, landscape lighting, water softeners or filtration and home audio systems. They are never included in an inspection, but certain observations (such as a leak) may be called out. For more information on the scope and limits of this inspection, please review the InterNACHI [Standard of Practice](#) that we adhere to.

Limitations

PROPERTY FURNISHED OR STAGED

Because the home was furnished, some areas or components may not have been inspected. The inspector is not required to move belongings, including rugs, furniture and boxes to perform the inspection. Reasonable effort was made to inspect at least a representative number of outlets, windows and doors.

Observations

3.1.1 General Notes

**LEAD PAINT & ASBESTOS**

Homes built prior to 1984 were often built with materials containing asbestos or lead-based paint. Products like acoustic ceiling spray texture ("popcorn" or "cottage cheese" ceilings), tiles, vent flues, and linoleum are some examples of materials that may contain asbestos. Lead paint can deteriorate into lead dust that can be harmful when inhaled, especially by the elderly or young children.

In many cases it is safe to leave these materials in the home, if they are in places where they will not be disturbed. If the material will be removed (as in the case of renovation or remodel), it should be handled and disposed of in accordance with EPA guidelines. Learn more about the EPA's recommendations for dealing with [asbestos](#) and [lead based paint](#).

Steadfast Home Inspection does not perform testing to confirm the presence of asbestos or lead-based paint.

(While these materials were banned in 1978, their use continued through the early 80's until the stock was used.)

Recommendation

Contact a qualified environmental contractor

3.1.2 General Notes

**KNOB & TUBE WIRING**

Homes built prior to the mid-1950's may have been constructed with Knob & Tube (KT) wiring, which wrapped bare copper conductors in cloth and then used ceramic knobs and tubes to fasten them to or pass through structural parts of the framing. The lack of adequate insulation, the lack of a grounding conductor and the chance of unsafe splices with newer wiring make KT wiring a safety concern.

Even if no KT wiring was observed, the buyer should be aware that it may still exist or be in use in areas not accessible for inspection, such as inside walls. It should also be noted that KT wiring should not be in contact with home insulation, either within walls or in the attic.

Any KT wiring observed to be in use (electrified) will be noted specifically in the report.

Recommendation

Contact a qualified electrical contractor.

4: GROUNDS

Information

Driveway Concrete	Walkway(s) Concrete, Wood	Steps / Stoop Epoxy coated, Wood
Porch Tile	Deck Painted wood, Treated wood, Synthetic wood	Exterior Stairs & Railing Wood, Tile, Concrete
		Vegetation Shrubs, Crawling plants, Trees
Fence(s) Wood		

Observations

4.1.1 Concrete, Masonry or Tile

CRACKS - TYPICAL

DRIVEWAY

Surface had cracks that appeared typical and should be monitored. If condition worsens, correction may be necessary in order to ensure stability of the surface.

Recommendation

Recommend monitoring.

 Information & Maintenance



4.2.1 Wood Structures

LEDGER BOARD IMPROPERLY INSTALLED

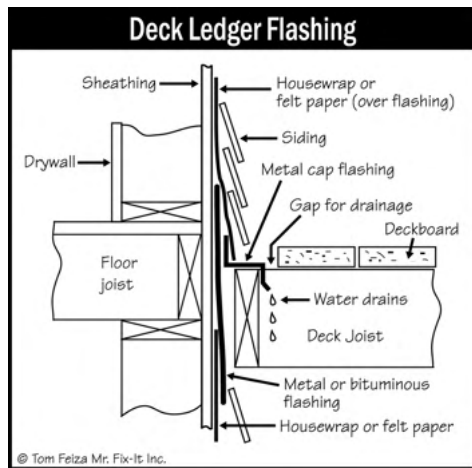
NORTH DECK

The ledger board was not properly attached to the building. This can cause the added structure to pull away from the building and possibly collapse. Recommend that the ledger board be properly attached by qualified contractor.

Common defects include being attached over the siding and not having the proper number or spacing of bolts or lag screws.

Recommendation

Contact a qualified general contractor.



4.2.2 Wood Structures

PEST DAMAGE

NORTH DECK

Damage from wood destroying pests (e.g., termites) observed, which may be ongoing or from a prior infestation. Recommend further evaluation by a qualified pest control company. Damaged members should be repaired or replaced.

Recommendation

Contact a qualified pest control specialist.



4.2.3 Wood Structures

WOOD DECAY

MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Wood decay observed, which should be repaired or replaced to reduce chances of further decay or moisture intrusion. Source of moisture should also be investigated and eliminated.

Recommendation

Contact a qualified carpenter.



North West Stairs



East Deck

4.3.1 Stairs & Railings

GUARDRAIL DEFECT

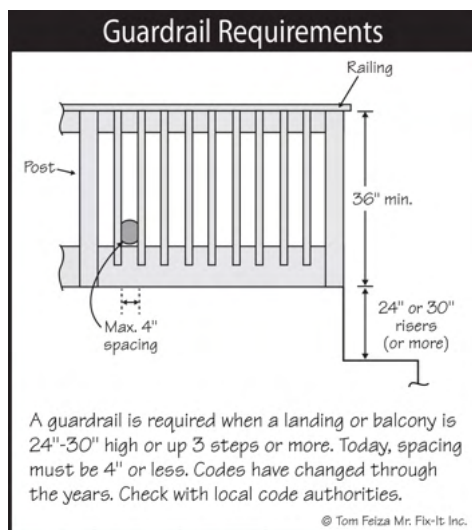
MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Guardrail was loose, missing or improperly installed.

- Any platform more than 30 inches above the grade to have a guardrail that is at least 36 inches tall
- Guardrail should be able to withstand 200 pounds of force applied anywhere along the top in order to help prevent falls
- Openings between balusters should be no more than 4 inches wide to help prevent children from becoming trapped

Recommendation

Contact a qualified general contractor.



M086



North East Deck



Roof



Upper Roof

4.3.2 Stairs & Railings

HANDRAIL DEFECT

MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Handrail was loose, missing or improperly installed.

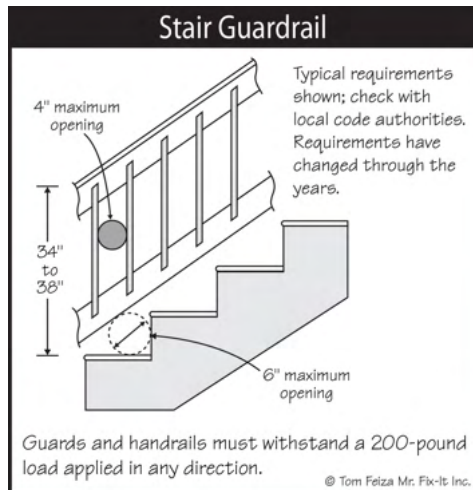
- A graspable handrail should be present wherever a set of stairs has 4 or more risers
- Handrail should be able to withstand 200 pounds of force applied anywhere along the top in order to help prevent falls
- Openings between balusters should be no more than 4 inches wide to help prevent children from becoming trapped

Recommendation

Contact a qualified carpenter.



Urgent & Safety



M085



Entry Stairs



West Stairs



East Stairs



North East Stairs

4.3.3 Stairs & Railings

 Urgent & Safety

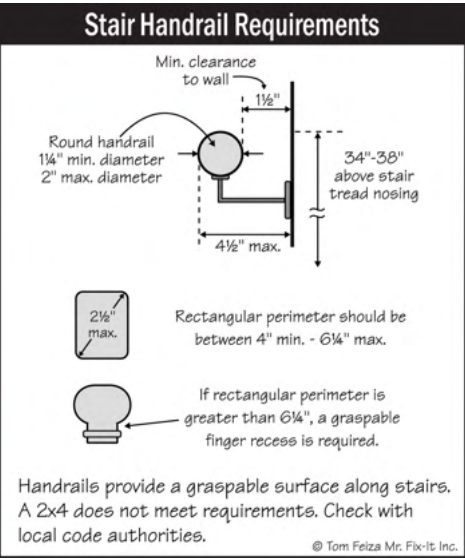
HANDRAIL NOT GRASPABLE

MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Handrail was not graspable. Wherever stairs have 4 or more risers, a handrail of not more than 2" diameter (if round) or 'equivalent graspability' should be installed between 34 and 38 inches high (measured from the nose of the tread). An appropriate handrail should be installed for occupants' safety.

Recommendation

Contact a qualified carpenter.



M089



West Stairs



North East Stairs

4.3.4 Stairs & Railings

 Needs Attention

RUST AT HANDRAIL

PORCH

Handrail had rust that may cause the rail to come loose. Recommend repair or replacement.

Recommendation

Contact a qualified general contractor.



4.3.5 Stairs & Railings

STAIRS TOO NARROW

NORTH DECK

The width of the stairs was too narrow. Current practice requires most stairways to be at least 36 inches wide, not including the handrails. There are more specific rules in some cases, but 36" is a general minimum width for stairways.

Recommendation

Contact a qualified general contractor.



Needs Attention



4.4.1 Vegetation

CRAWLING PLANTS ON STRUCTURE

WEST

Crawling plants (vines or ivy) were observed. These plants can cause extensive damage to wood, stucco or other finishes by allowing moisture and pest entry. They are also frequently used by rodents to access the home. Recommend removing crawling plants.

Recommendation

Contact a qualified tree service company.



Information & Maintenance



4.4.2 Vegetation

PLANTS NEAR BUILDING

EAST

Vegetation was planted near the building that can cause damage to the exterior finish or allow entry of pests. Shrubs, plants and trees are recommended to be trimmed at least 12 inches from the building. No damage was observed.

Recommendation

Contact a qualified lawn care professional.



Information & Maintenance



4.5.1 Fence(s)

ADJUSTMENT NEEDED AT GATE

EAST GATE

Gate rubbed on ground or fence and should be adjusted or repaired.

Recommendation

Contact a handyman or DIY project



Needs Attention



4.5.2 Fence(s)

WOOD DECAY

EAST



Wood decay observed, which should be repaired or replaced to reduce chances of further decay or moisture intrusion. Source of moisture should also be investigated and eliminated.

Recommendation

Contact a qualified carpenter.



5: BUILDING EXTERIOR

Information

Siding Stucco	Trim Wood	Soffit & Fascia Wood
Lighting Wall mounted	GFI Protection: Missing or Incomplete See Observations below for more information.	

Observations

5.1.1 GFI Protection

GFI NEEDED OUTSIDE

ROOF

Receptacle outside was not GFI-protected. Current practice calls for all outdoor receptacles to be GFI-protected in order to help reduce the risk of shock in wet areas. Recommend installation for occupants' safety.

Recommendation

Contact a qualified electrical contractor.



5.1.2 GFI Protection

GFI DEFECT

NORTH EAST DECK

GFI device was not functional. It did not trip when tested, would not reset after testing, or was mis-wired. GFI device should be repaired or replaced for occupants' safety.

Recommendation

Contact a qualified electrical contractor.



5.3.1 Stucco, Masonry or Tile

 Information & Maintenance

CRACKING - TYPICAL

SIDE

Material had minor or patched cracks. Cracks appeared typical and no signs of differential movement were noted. Cracks should be monitored and sealed or repaired if condition worsens.

Recommendation

Recommend monitoring.



5.3.2 Stucco, Masonry or Tile

 Needs Attention

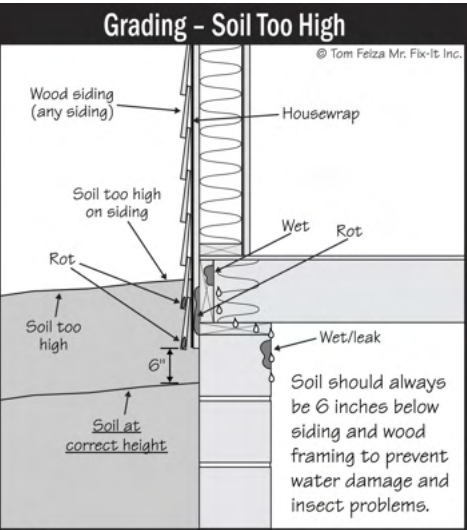
IMPROPER GROUND CLEARANCE

MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Siding material was lower than recommended. Siding should be at least 6 inches above grade in order to minimize chances of water damage and termite infestation.

Recommendation

Contact a qualified siding specialist.



5060



West



Front

5.3.3 Stucco, Masonry or Tile

POSSIBLE PEST ENTRY

MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Building had a hole or gap that could allow pest entry. Recommend sealing.

Recommendation

Contact a qualified siding specialist.



West



East

5.3.4 Stucco, Masonry or Tile

SURFACE DAMAGED

ROOF

Exterior surface was damaged. The surface should be repaired or replaced as necessary to maintain a weather-tight barrier.

Recommendation

Contact a qualified siding specialist.



5.4.1 Wood or Fiber Cement

PEST DAMAGE

MULTIPLE LOCATIONS - SEE PHOTO CAPTIONS

Damage from wood destroying pests (e.g., termites) was observed, which may be ongoing or from a prior infestation. Recommend further evaluation by a qualified pest control company. Damaged members should be repaired or replaced.

Recommendation

Contact a qualified pest control specialist.



Soffit Trim



Storage Trim

5.6.1 Vents & Terminations

EXTERIOR TERMINATION DEFECT

UPPER WEST

A vent termination was loose or had gaps around it. Terminations should be properly installed and sealed to help prevent water or pest entry. Recommend correction.

Recommendation

Contact a qualified handyman.



5.9.1 Exterior Electrical

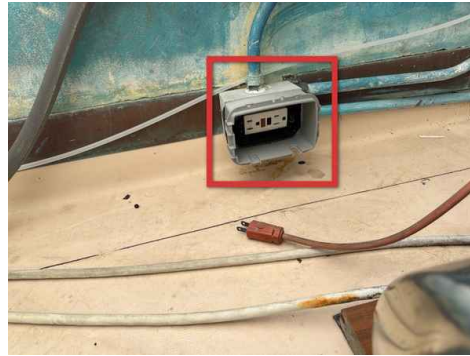
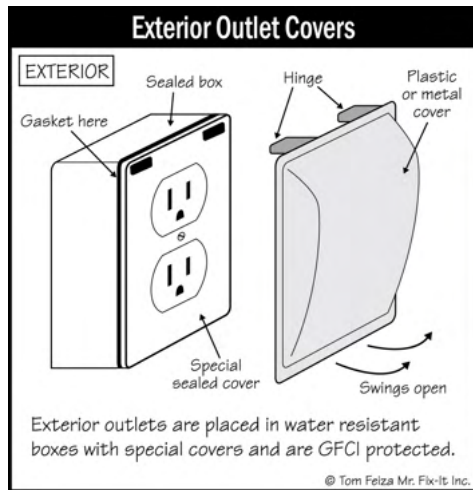
WATERPROOF COVER DEFECT

ROOF

The waterproof cover was missing or broken at the exterior outlet. All exterior receptacles should have a cover that is waterproof when closed. Recommend installation or repair.

Recommendation

Contact a qualified electrical contractor.

**Urgent & Safety**

E115

5.9.2 Exterior Electrical

WATERPROOF IN USE COVER NEEDED

ROOF

Exterior receptacle had a device permanently plugged in. This receptacle should have a cover that is rated Waterproof while In Use. These have a slot for the cord to exit while the cover is closed and can close fully even with devices plugged in. Recommend installation of correct cover.

Recommendation

Contact a handyman or DIY project

**Urgent & Safety**

5.9.3 Exterior Electrical

GROUND PIN OBSTRUCTION

ROOF

Receptacle had an obstruction at the ground pin, which should be removed for safety.

The circuit should be turned off at the breaker to safely remove the obstruction.

Recommendation

Contact a qualified electrical contractor.

**Urgent & Safety**

5.9.4 Exterior Electrical

PERMANENT EXTENSION CORD

ROOF

An extension cord was observed in use as "permanent" wiring. Extension cords should not be used to supply power to items that will be plugged in continuously. Recommend running power to reach the supplied power cord of the device or fixture.

Recommendation

Contact a qualified electrical contractor.

**Urgent & Safety**

6: ROOF

Information

Single-Ply Membrane: Average Life

A well-installed and properly maintained single-ply membrane roof may last 30 years or more. Maintenance will mostly consist of ensuring proper drainage of water off the roof, including keeping roof drains, or scuppers, cleared.



Inspection Method

On roof

Roof Inspection Limited

See Limitations tab

Style(s)

Flat

Material(s)

Single-ply membrane (PVC or TPO)

Flashings

Rubber

Skylight(s)

Glass

Chimney(s)

Masonry, Stucco over metal flue

The interior of the chimney flue is beyond the scope of this inspection. A chimney sweep should evaluate and clean the flue before the first use of the fireplace.

Limitations

Roof Overview

PARTIAL INSPECTION

PORTION UNDER DECK

A portion of the roof was not available for inspection, either due to its height or lack of access. Recommend evaluation by a qualified roofing contractor.



Observations

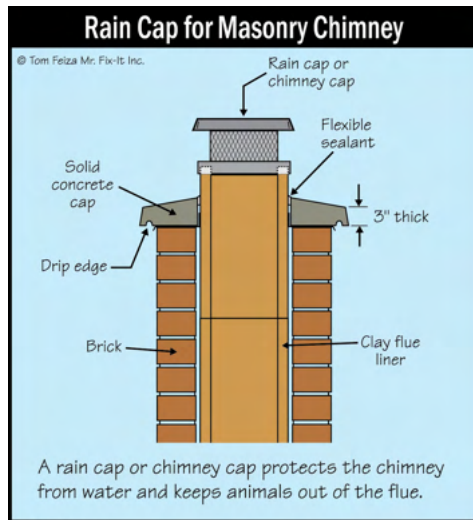
6.9.1 Chimneys & Skylights

**CHIMNEY CAP DEFECT**

Chimney cap was loose, damaged or missing. A cap should be installed to protect the crown of the chimney, as well as to help keep rain and pests out of the flue.

Recommendation

Contact a qualified chimney sweep.



FO30C



6.9.2 Chimneys & Skylights

**TREE LIMBS AT CHIMNEY**

Chimney had tree limbs above it and around it. This can damage the chimney and is a potential fire hazard. Recommend trimming the tree limbs away from the chimney. A general rule is to keep limbs at least 10 feet away and 2 feet below any nearby chimney.

Recommendation

Contact a qualified tree service company.



7: GUTTERS & DRAINAGE

Information

Gutters Metal, Roof drain(s)	Downspouts To drainage system, Discharge near building	Grading Flat
		Drainage Drainage System

Ongoing Maintenance Required - Drains

Underground drainage was not inspected. **See Limitations tab.**

Yard drainage systems require periodic maintenance, such as clearing leaves and debris away from collection points and checking the interior or underground portions for damage and blockages. Recommend performing maintenance as needed.

Sump Pump Not Inspected

See Limitations tab

Limitations

Drainage Overview

UNDERGROUND DRAINS

Any underground portions of drains (drainage tiles, drain pipes, French drains, etc.) are not inspected. The end location of the drain may not have been observed. Recommend requesting information about drainage from the owner.

Drainage Overview

SUMP PUMP

The function of sump pumps is beyond the scope of this inspection. These pumps can be a crucial component in protecting the home from damage and should be tested and properly maintained. Homeowners should be aware of where the sump pump discharges.



Observations

7.1.1 Gutters

GUTTER LEAK

EAST

Gutter leak observed or suspected in one or more areas. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Gutters should be repaired.

Recommendation

Contact a qualified gutter contractor



Needs Attention



7.2.1 Downspouts

DOWNSPOUT LOCATION

WEST

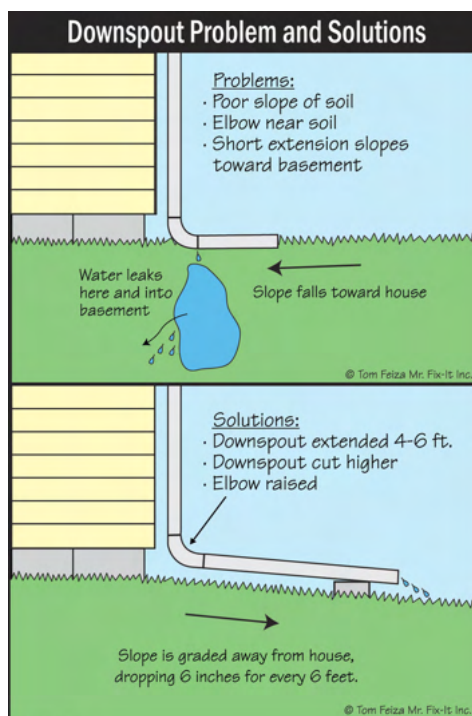
One or more downspouts discharged too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Downspouts should drain at least 6 feet from the home.

Recommendation

Contact a handyman or DIY project



Information & Maintenance



B126C



7.4.1 Drainage

IMPROPER PLUMBING AT SUMP DISCHARGE

BASEMENT

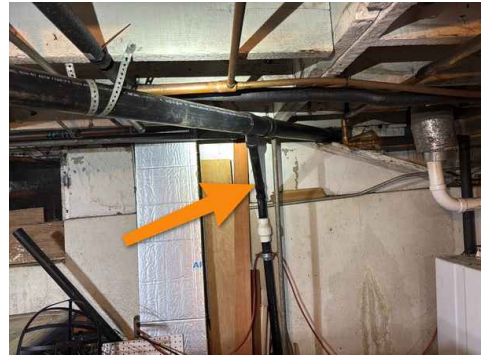
The discharge plumbing for the sump pump was plumbed improperly. Current practice allows a sump to discharge into the main drain line only under certain conditions. Important factors include the discharge having a check valve (or backwater valve), a gate or ball valve shut-off being installed downstream from the check valve, and the discharge entering the main sewer line from above. Recommend correction.

Recommendation

Contact a qualified plumbing contractor.



Needs Attention



8: PLUMBING

Information

Water Meter

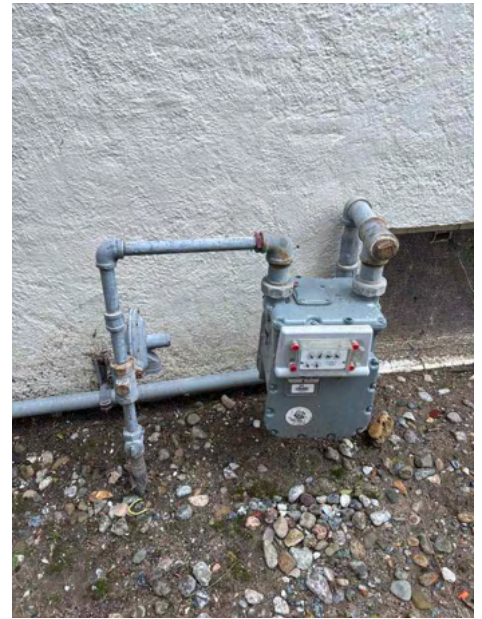
At street

**Water Shut-off**

Side of building

**Gas Meter**

Side of building

**Gas Shut-off**

At meter

**Drain Line Clean Out**

Present

**Water Supply**

Copper

Water Distribution

Copper

Drains

ABS, Cast iron

Plumbing Vents

ABS, Galvanized

Gas LinesSteel (black or galvanized),
Corrugated Stainless (CSST)

Observations

8.2.1 Drains & Vents

**POSSIBLE PINHOLE LEAK(S)
OBSERVED**

BASEMENT

The cast iron drain had signs of a pinhole leak, including build-up and staining on the outside of the pipe. Recommend further evaluation of the drain line.

Recommendation

Contact a qualified plumbing contractor.



Needs Attention



8.2.2 Drains & Vents

IRREGULAR DRAIN PLUMBING

ROOF

The drain line for the rooftop deck drained onto the roof. While roof materials are made to shed water, prolonged exposure can cause premature wear or damage. Recommend plumbing the drain into an approved receptacle. Add caption

Recommendation

Contact a qualified plumbing contractor.



Needs Attention



9: WATER HEATER

Information

Reference Photo(s)



Average Useful Life

The average useful life of a tank water heater is about 12 years. As the tank ages, it rusts from the inside out, eventually leading to leaks. While tankless water heaters could last longer, there is not currently adequate information to support that. We recommend replacing water heaters before they reach 12 years old.

Condition

Tested - Functioning

Type

Gas, Tankless

Brand

Navien

Capacity

237 Gallons/Hr

Year Manufactured

2021

Strapping

Wall-mounted

10: ELECTRICAL SERVICE & WIRING

Information

Reference Photo(s)



Service Location & Voltage

Overhead, 120V/240V

Ground Electrode System

Metal plumbing

Wiring Type(s)

Non-metallic sheathed cable (NM or "Romex"), Conduit (THHN or THWN), Armored cable (BX)

Observations

10.2.1 Branch Wiring

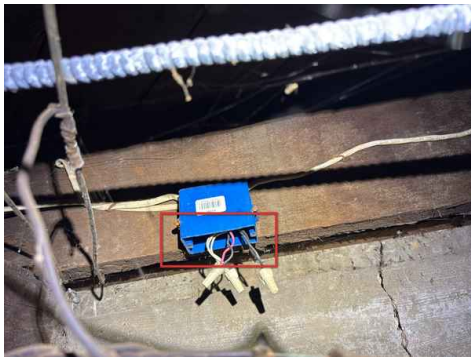
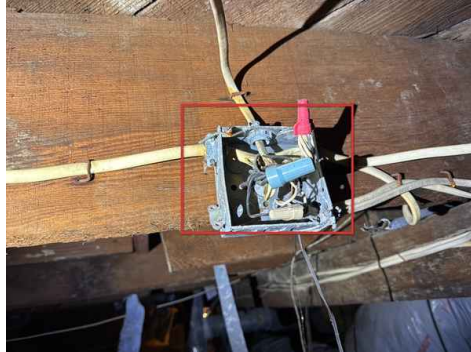
OPEN JUNCTION BOX

CRAWL SPACE

Junction box was missing a cover. A cover should be installed to help prevent access to live electrical conductors.

Recommendation

Contact a qualified electrical contractor.

**Urgent & Safety**

11: SERVICE PANEL

Information

Reference Photo(s)



Panel Inspection Limited

See Limitations tab

Amperage

200 Amps

Brand

Murray

Limitations

Service Panel Overview
COVER NOT REMOVED

The inspector either could not remove the dead front cover of the panel, or it was not safe to do so at the time of the inspection. Removing this cover is beyond the scope of our Standard of Practice, but is done whenever possible and can often uncover defects within the electrical panel. Recommend evaluation of the panel by a qualified electrician when it is possible to do so.



Observations

11.2.1 Service Panel

LEGEND DEFECT

Distribution panel was lacking a legend or legend was incomplete or outdated. The legend describes each circuit in a way that is clear and unambiguous. Recommend labeling each circuit.

Recommendation

Contact a qualified electrical contractor.

**Urgent & Safety**

11.2.2 Service Panel

IMPROPER CLEARANCE AT PANEL

Current practice calls for at least 3 feet of clear working space in front of the electrical panel. Recommend removing obstructions.

Recommendation

Contact a handyman or DIY project

**Urgent & Safety**

12: SUBPANEL - UNIT 1

Information

Reference Photo(s)



Amperage
100 Amps

Brand
Murray

Observations

12.2.1 Subpanel
**SINGLE SHUT-OFF IN
DIFFERENT PANEL**
SERVICE PANEL

This Subpanel's single main shut-off switch is in a different panel. While that is allowed by code, the occupant should know where the shut-off is.

 Information & Maintenance



12.2.2 Subpanel



Urgent & Safety

IMPROPER SCREW

Incorrect screw used for securing cover. Sharp, coarse-thread screws are more likely to pinch conductors, causing shorts and/or arcing. Recommend replacement with blunt, fine-thread screws.

Recommendation

Contact a qualified electrical contractor.



12.2.3 Subpanel



Information & Maintenance

NO AFCI - UPGRADE

No Arc-Fault Circuit Interrupter (AFCI) devices were installed in the panel (or not at all recommended circuits). Though not required when this home was built, AFCIs are now called for at all circuits feeding lights or receptacles in bedrooms, living rooms and hallways. They help protect against electrical fires caused by electrical arcing both at the installed wiring in the walls and anything plugged into the protected outlets. Recommend installation of AFCI devices as a safety upgrade.

Recommendation

Contact a qualified electrical contractor.



13: LAUNDRY

Information

Reference Photo(s)



Walls

Drywall or Plaster, Wood

Door(s)

Wood

Laundry Component(s) Not Inspected

See Limitations tab

Ceiling

Suspended

Window(s)

Single-paned

Appliance Brand(s)

LG, Maytag

Dryer Hookups

Gas

Floor

Concrete

Lighting

Wall mounted

Washer Hookups

Separates, Rubber hoses

Dryer Vent

Foil flex

Limitations

Washer/Dryer Overview

WASHER & DRYER NOT INSPECTED

The Washer and Dryer were not inspected as they are not considered 'installed' components in the home. We recommend that you test them or have them inspected by an appliance specialist if you are concerned about their function.

Observations

13.1.1 Laundry Hookups

RUBBER SUPPLY HOSE**Urgent & Safety**

Rubber hose was in use for the washer supply. Rubber can be prone to rupture and at a minimum should be replaced every 5 years. Recommend switching to a stainless-steel braided type, which does not need replacement.

Recommendation

Contact a handyman or DIY project



13.4.1 Floor

FLOOR UNEVEN**Information & Maintenance**

Floor had an area of unevenness that could be due to settling or imperfection of the installed flooring and subfloor. Unless paired with other signs of major damage, it is not likely to be a significant concern.

Recommendation

Recommend monitoring.



13.5.1 Door(s)

GAP AT EXTERIOR DOOR**Needs Attention**

The exterior door had gaps around it that will let outside elements and possibly pests into the home, as well as any conditioned air out of the home. Recommend weather-stripping or improving door alignment.

Recommendation

Contact a qualified door repair/installation contractor.



13.5.2 Door(s)

ADJUSTMENT NEEDED**Needs Attention**

Door did not operate smoothly, or rubbed on the floor or frame. Door should be adjusted to open and close without interference.

Recommendation

Contact a qualified door repair/installation contractor.



14: FURNACE

Information

Reference Photo(s)



Average Useful Life

The average useful life of a gas-fired furnace is about 20 years. In our area, we often see them last 30+ years. But as furnaces age, the heat exchanger may rust or crack, which could release toxic exhaust gases into the home. Therefore proper maintenance and regular service become more important as the unit ages.

Condition Tested - Functioning	Brand Lennox	Fuel or Energy Source Gas
Heat Type Forced Air	Filter None observed	Year Manufactured 2015
Ductwork Flexible, Insulated		

Observations

14.3.1 Distribution

DUCT DEFECT

CRAWL SPACE

Duct was torn, crimped, broken or disconnected. This wastes conditioned air and may circulate dirty air into the home. Recommend repair.

Recommendation

Contact a qualified HVAC professional.

 Needs Attention



14.3.2 Distribution

DUCT IN DIRT

CRAWL SPACE

Duct was in contact with dirt in the crawlspace, which can lead to premature wear of ductwork. Recommend securing duct off dirt, or placing material between duct and dirt to help prevent wear.

Recommendation

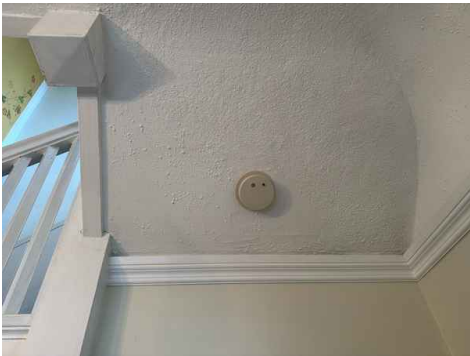
Contact a qualified HVAC professional.



15: ROOF ENTRY

Information

Reference Photo(s)



Safety Device(s)
Smoke Alarm

HVAC Type
Central HVAC

Walls
Drywall or Plaster

Ceiling
Drywall or Plaster

Floor
Wood

Door(s)
Wood, Single-paned

Window(s)
Single-paned

Lighting
Ceiling mounted, Wall mounted

Observations

15.1.1 Safety

SMOKE ALARM PAST EXPIRATION

 Urgent & Safety

Installed smoke alarm appeared to be beyond 10 years old. Beyond ten years, smoke alarms have a diminished ability to detect smoke particles and should be replaced for occupants' safety.

Recommendation

Contact a handyman or DIY project



15.1.2 Safety



Urgent & Safety

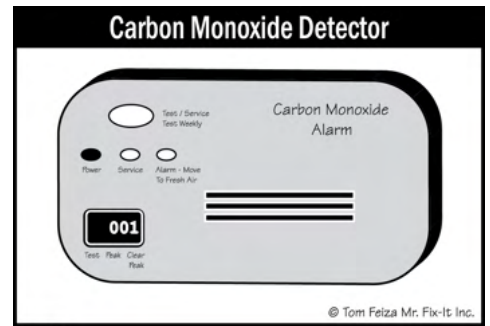
CO ALARM NEEDED

Current practice calls for a Carbon Monoxide (CO) Alarm outside of any sleeping area with at least **one on each level** of the home. Recommend installation for occupants' safety.

CO Alarms should also be located in any sleeping room that contains a gas-fired appliance.

Recommendation

Contact a handyman or DIY project



MO20

15.2.1 Walls & Ceiling



Information & Maintenance

REPAIRS OBSERVED

Repairs were observed. This can indicate past damage, possibly moisture intrusion or pest damage. Recommend monitoring.

Recommendation

Recommend monitoring.



15.4.1 Door(s)



Urgent & Safety

SAFETY GLASS NOT OBSERVED

Current practice calls for safety glass in doors, and any side lites or windows adjacent to doors. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified door repair/installation contractor.



15.5.1 Windows



Information & Maintenance

DIFFICULT OR STUCK

Window was difficult or not able to open/close. Recommend repair or adjustment.

Recommendation

Contact a qualified window repair/installation contractor.



15.6.1 Lighting



Information & Maintenance

BULB OUT

Light fixture had a bulb missing or burnt out. Recommend replacement of bulb and testing of fixture.

Recommendation

Contact a handyman or DIY project



16: ROOF HALLWAY & STAIRS

Information

Reference Photo(s)



Safety Device(s)
Smoke Alarm

HVAC Type
None observed

Walls
Drywall or Plaster

Ceiling
Drywall or Plaster

Floor
Carpet

Door(s)
Wood, Single-paned, Safety glass

Window(s)
Single-paned

Lighting
Ceiling mounted

Stair Treads
Wood, Carpet

Handrail at Stairs
Wood

Observations

16.1.1 Safety

SMOKE ALARM PAST EXPIRATION

 Urgent & Safety

Installed smoke alarm appeared to be beyond 10 years old. Beyond ten years, smoke alarms have a diminished ability to detect smoke particles and should be replaced for occupants' safety.

Recommendation
Contact a handyman or DIY project



16.1.2 Safety



Urgent & Safety

CO ALARM NEEDED

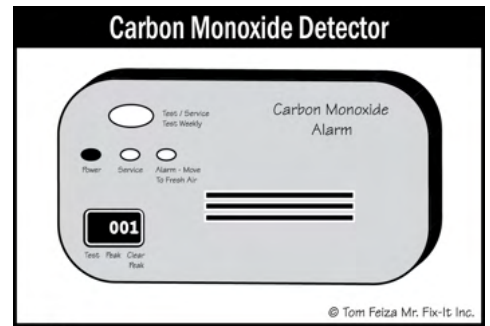
Current practice calls for a Carbon Monoxide (CO) Alarm outside of any sleeping area with at least **one on each level** of the home.

Recommend installation for occupants' safety.

CO Alarms should also be located in any sleeping room that contains a gas-fired appliance.

Recommendation

Contact a handyman or DIY project



MO20

16.2.1 Stairway

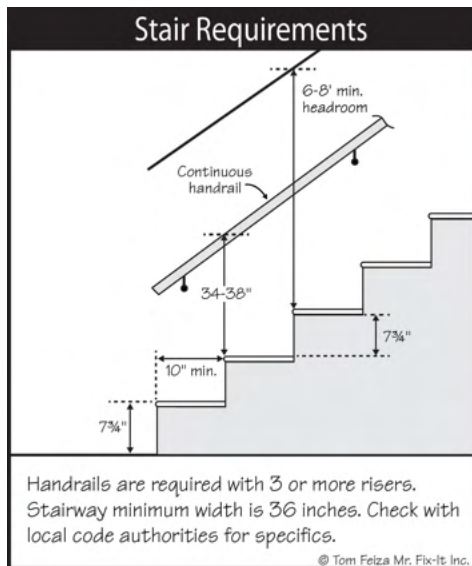
CEILING LOW AT STAIRS

Needs Attention

Ceiling over stairs was lower than current practice allows (6'8"). Required headroom should be provided for occupants' safety.

Recommendation

Contact a qualified general contractor.



MO87



16.2.2 Stairway



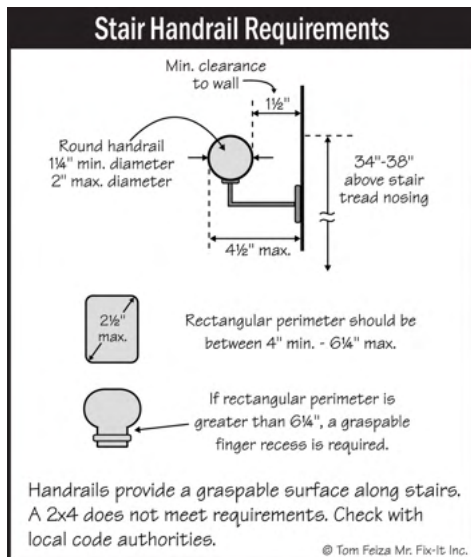
Urgent & Safety

HANDRAIL NOT GRASPABLE

Handrail was not graspable. Wherever stairs have 4 or more risers, a handrail of not more than 2" diameter (if round) or 'equivalent graspability' should be installed between 34 and 38 inches high (measured from the nose of the tread). An appropriate handrail should be installed for occupants' safety.

Recommendation

Contact a qualified carpenter.



M089

16.2.3 Stairway



Urgent & Safety

SAFETY GLASS NOT OBSERVED AT STAIRWAY

Current practice calls for windows in stairways or adjacent landings to be made of safety glass if the window is within 60 inches of the top of the nearest stair tread. Recommend installation of safety glass for occupants' safety.

Recommendation

Contact a qualified window repair/installation contractor.



16.6.1 Windows



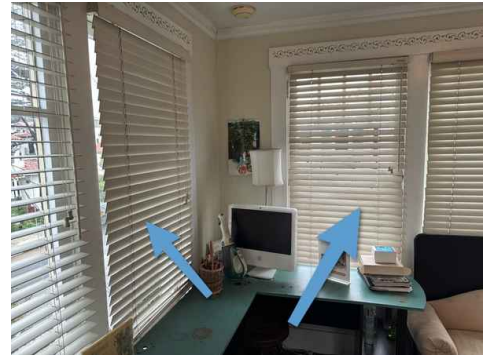
Information & Maintenance

DIFFICULT OR STUCK

Window was difficult or not able to open/close. Recommend repair or adjustment.

Recommendation

Contact a qualified window repair/installation contractor.



16.7.1 Lighting



Information & Maintenance

BULB OUT

Light fixture had a bulb missing or burnt out. Recommend replacement of bulb and testing of fixture.

Recommendation

Contact a handyman or DIY project



17: BASEMENT

Information

Reference Photo(s)



Walls
Concrete

Floor
Concrete

Lighting
Ceiling mounted

Handrail at Stairs
None present

Ceiling
Exposed framing

Door(s)
Wood

Stair Treads
Concrete

Observations

17.1.1 Basement

EVIDENCE OF RODENTS

 Urgent & Safety

Evidence of rodents observed. Recommend further evaluation. The first steps to preventing rodent entry are sealing all penetrations through the roof, siding and foundation, and keeping plants and trees trimmed back from the house. Plants against the house, especially at the roof, provide a pathway for rodents to more easily access the home.

Recommendation
Contact a qualified pest control specialist.



17.1.2 Basement

STANDING WATER OBSERVED

 Needs Attention

Standing water was observed in the basement. Recommend improving drainage to help prevent damage to structure or finishes.

Recommendation
Contact a qualified soils & drainage engineer



17.3.1 Stairway

HANDRAIL DEFECT

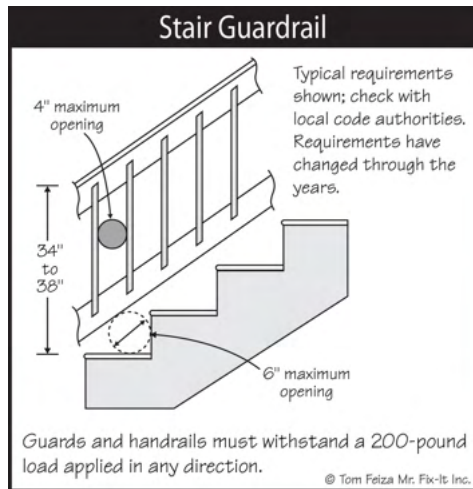
Urgent & Safety

Handrail was loose, missing or improperly installed.

- A graspable handrail should be present wherever a set of stairs has 4 or more risers
- Handrail should be able to withstand 200 pounds of force applied anywhere along the top in order to help prevent falls
- Openings between balusters should be no more than 4 inches wide to help prevent children from becoming trapped

Recommendation

Contact a qualified general contractor.



M085

18: RAISED FOUNDATION

Information

Reference Photo(s)



Inspection Method

Inside

Foundation Material

Poured concrete

Piers & Posts

Wood posts, Concrete piers

Ventilation

Vents at walls

Access Location

Basement

Framing Material

Wood beams, Wood joists

Sub-floor

Dimensional wood

Observations

18.1.1 Crawl space

DAMP DIRT

Dirt in the crawl space was damp, with no observed source of moisture. Some amount of moisture is normal and soil in the crawl space can take a long time to dry. But persistent moisture can be a sign of a drainage or plumbing defect and can affect indoor air quality. Recommend requesting information from Seller about any previous water intrusion and monitoring.

Recommendation

Contact the seller for more info

 Information & Maintenance



18.1.2 Crawl space

DEBRIS IN CRAWLSPACE

Any paper or wood products in the crawl space should be removed to help prevent attracting wood-destroying pests (e.g., termites) to the area.

Recommendation

Contact a handyman or DIY project

 Information & Maintenance



18.1.3 Crawl space

WATER ENTRY THROUGH OPENING

WEST

Water was entering the crawl space through an opening in the foundation wall. Common openings include vents, or holes for plumbing, electrical or conduits. Opening should be sealed to prevent water entry.

Recommendation

Contact a foundation contractor.

 Needs Attention

18.2.1 Foundation Structure

POSTS & BEAMS NOT STRAPPED

THROUGHOUT

Best practice calls for posts to be secured with steel straps to their piers and beams. While there were no signs of posts slipping, recommend strapping all posts.

Recommendation

Contact a foundation contractor.

 Information & Maintenance

18.2.2 Foundation Structure

TYPICAL CRACK AT FOUNDATION

Foundation was cracked. The crack did not show signs of lateral movement and could be a result of typical settling. Further evaluation could be provided by a foundation contractor.

Recommendation

Recommend monitoring.

 Information & Maintenance

18.2.3 Foundation Structure

FOUNDATION BOLTS NOT OBSERVED

THROUGHOUT

Framing did not appear to be bolted to the foundation wall. Current practice calls for bolts along the perimeter of the foundation, with at least 2 bolts per member. A foundation contractor can provide more information on current standards of foundation anchoring.

Recommendation

Contact a foundation contractor.

 Needs Attention

18.3.1 Floor Structure

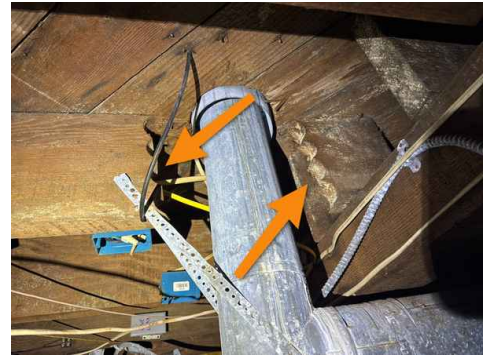
IMPROPERLY NOTCHED FRAMING

Needs Attention

Framing was notched further than allowed. Beams and joists are typically allowed to be notched up to a fourth of their height, and should only be notched in the outer thirds of any span. Removing more material, or in the wrong place, reduces the strength of the material.

Recommendation

Contact a qualified general contractor.



18.3.2 Floor Structure

MOISTURE DAMAGE

UNIT 1 BATHROOM

Floor structure had area(s) of damage from past water intrusion. Damaged members may be weakened and should be replaced when accessible. No current leak was observed. Recommend monitoring.

Recommendation

Recommend monitoring.



Information & Maintenance



18.4.1 Ventilation

VENT SCREEN DEFECT

WEST

Vent screen was damaged or missing and should be corrected to allow air flow, but prevent entry of pests.

Recommendation

Contact a handyman or DIY project



Information & Maintenance



18.4.2 Ventilation



Needs Attention

VENT BELOW GRADE

EAST

A crawl space vent was located below the exterior grade, which can allow water into the crawl space. The vent should be covered or relocated.

Recommendation

Contact a qualified general contractor.



19: UNIT 1 - KITCHEN

Information

Reference Photo(s)



HVAC Type

None observed

Walls

Drywall or Plaster

Ceiling

Drywall or Plaster

Floor

Wood

Door(s)

Wood, Single-paned, Safety glass

Window(s)

Single-paned

Lighting

Recessed, Ceiling mounted

Sink

Stainless steel

Countertop

Stone/Granite/Quartz

Cabinets

Wood

Appliance Reference Photo(s)

Unless otherwise noted in this report, all appliances observed were found to be functioning and in acceptable condition.





Refrigerator

Whirlpool

Ventilator

Emerson-Pryne

Air Gap

Backflow preventer



Cooking

Maytag

Vent Type

Vents to exterior

Disposal

In-Sink-Erator

Cooking Type

Gas Range

Dishwasher

Kitchen-Aid

GFI Protection: Missing or Incomplete

See **Observations** below for more information.

Observations

19.1.1 GFI Protection

GFI NEEDED AT KITCHEN COUNTERS

Receptacle at Kitchen counter was not GFI-protected. Current practice calls for all receptacles that serve Kitchen counters to be GFI-protected in order to help reduce the risk of shock in wet areas. Recommend installation for occupants' safety.

Recommendation

Contact a qualified electrical contractor.



19.5.1 Door(s)

KEYED DEADBOLT

Door had a deadbolt operated by a key on both sides (dual cylinder). These are considered a danger, especially in case of a fire, and should be replaced with a lever-operated (single cylinder) deadbolt.

Recommendation

Contact a qualified door repair/installation contractor.



19.6.1 Windows

GLASS DEFECT

Window pane was cracked or damaged and should be replaced for occupants' safety.

Recommendation

Contact a qualified window repair/installation contractor.



19.6.2 Windows



Needs Attention

BALANCE DEFECT

Window balance or sash cord was broken. This helps counter-balance the weight of the sash when open. If the balance is broken, the sash is more likely to fall suddenly and can be more difficult to open and close.

Recommendation

Contact a qualified window repair/installation contractor.



19.7.1 Lighting



Information & Maintenance

BULB OUT

Light fixture had a bulb missing or burnt out. Recommend replacement of bulb and testing of fixture.

Recommendation

Contact a handyman or DIY project



19.8.1 Electrical



Information & Maintenance

FEW RECEPTACLES AT COUNTERS

Current practice calls for enough receptacles at kitchen counters such that no point on a counter is more than 24 inches from an receptacle. Recommend further evaluation by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.



19.14.1 Cooking



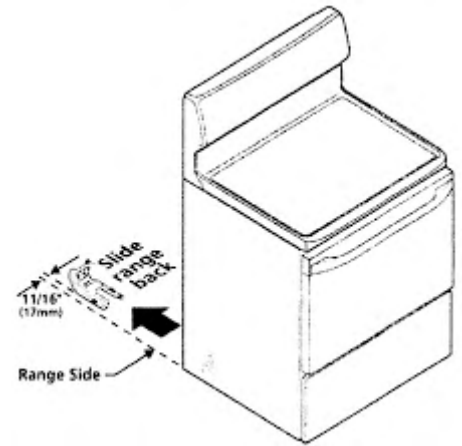
Urgent & Safety

ANTI-TIP BRACKET NOT PRESENT

Cooking appliance was not properly secured. For safety, an anti-tip device should be installed on every freestanding range.

Recommendation

Contact a handyman or DIY project



19.16.1 Ventilator



Needs Attention

EXHAUST FAN NOT FUNCTIONAL

Exhaust fan was inoperable. Recommend repair so that there is proper ventilation in the Kitchen.

Recommendation

Contact a qualified appliance repair professional.



19.17.1 Dishwasher



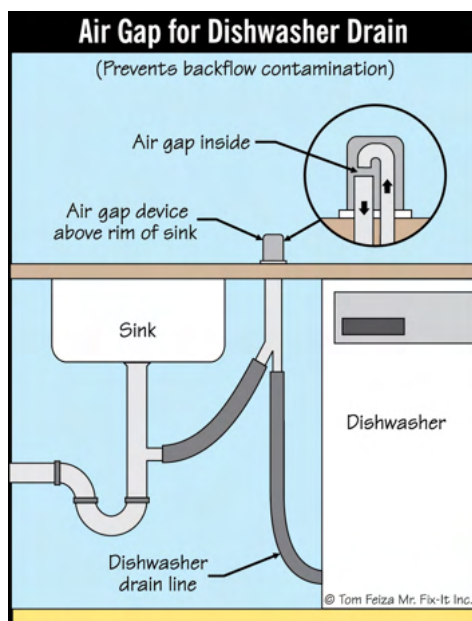
Information & Maintenance

AIR GAP ALTERNATIVE

Dishwasher did not have an air gap installed, but instead utilized a high loop or backflow preventer. While these methods can help prevent backflow, local building code does require a physical air gap, although many people still opt to go without.

Recommendation

Contact a qualified plumbing contractor.



P023C

20: UNIT 1 - LIVING ROOM

Information

Reference Photo(s)



Safety Device(s) Combination Smoke + CO	HVAC Type Central HVAC, Return air	Walls Drywall or Plaster
Ceiling Drywall or Plaster	Floor Wood	Door(s) Wood, Single-paned
Window(s) Single-paned	Lighting None observed	

Observations

20.2.1 Walls & Ceiling

CRACKS - TYPICAL

Surface was cracked. Crack appeared typical of normal settling and not indicative of a larger problem.

Recommendation
Recommend monitoring.

 Information & Maintenance



20.4.1 Door(s)



Urgent & Safety

SAFETY GLASS NOT OBSERVED

Current practice calls for safety glass in doors, and any side lites or windows adjacent to doors. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified door repair/installation contractor.



20.4.2 Door(s)



Needs Attention

LATCH DEFECT

Door did not latch properly and should be adjusted or repaired.

Recommendation

Contact a qualified door repair/installation contractor.



20.4.3 Door(s)



Information & Maintenance

MINOR DAMAGE

Door had minor damage that did not affect its function.

Recommendation

Recommend monitoring.



21: UNIT 1 - BEDROOM

Information

Reference Photo(s)



Safety Device(s)

None Observed

Walls

Drywall or Plaster, Wood

Floor

Wood

Door(s) 2

Wood, Single-paned

Lighting

Wall mounted

HVAC Type

Central HVAC, Fireplace

Ceiling

Drywall or Plaster, Wood

Door(s)

Wood, Single-paned, Safety glass

Window(s)

Single-paned

Observations

21.1.1 Safety

BEDROOM SMOKE ALARM NEEDED

Current practice calls for a smoke alarm in every sleeping room. Recommend installation for occupants' safety.

(In order to avoid the confusion of naming rooms, for the purposes of our reports, a sleeping room is considered any room that would fit a bed inside and can be closed off from the public areas of the house.)

Recommendation

Contact a handyman or DIY project

 Urgent & Safety



21.2.1 Walls & Ceiling

CRACKS - TYPICAL

CLOSET

Surface was cracked. Crack appeared typical of normal settling and not indicative of a larger problem.

Recommendation

Recommend monitoring.

 Information & Maintenance



21.4.1 Door(s)



Urgent & Safety

SAFETY GLASS NOT OBSERVED

Current practice calls for safety glass in doors, and any side lites or windows adjacent to doors. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified door repair/installation contractor.



21.5.1 Windows



Urgent & Safety

GLASS DEFECT

Window pane was cracked or damaged and should be replaced for occupants' safety.

Recommendation

Contact a qualified window repair/installation contractor.



21.7.1 Electrical



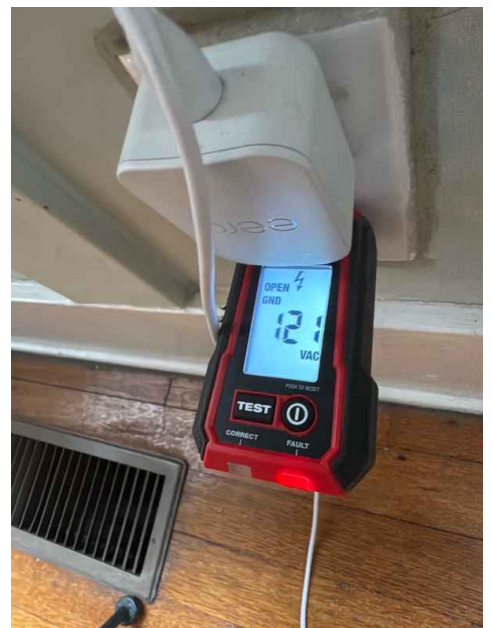
Urgent & Safety

UNGROUND RECEPTACLE(S)

Ungrounded receptacle observed. This represents a safety hazard and may result in damage to equipment. Recommend evaluation of the electrical system to see if outlet can be grounded.

Recommendation

Contact a qualified electrical contractor.



22: UNIT 1 - BATHROOM

Information

Reference Photo(s) 	HVAC Type None observed	Walls Drywall or Plaster, Wood
	Ceiling Drywall or Plaster	Floor Tile
	Door(s) Wood	Door(s) 2 Wood, Single-paned
	Lighting Wall mounted, Ceiling mounted	Ventilation None observed
	Sink Porcelain	Countertop Porcelain
Cabinets Wood	Toilet Toto	Tub Plastic tub, Freestanding tub, No surround

GFI Protection: Present

GFI (Ground Fault Circuit Interrupter) protection is required at receptacles in wet locations or where water may be present. This includes all exterior receptacles, in garages, at kitchen counters, in bathrooms and near laundry sinks.

Observations

22.3.1 Walls & Ceiling

MOISTURE DETECTED

Excessive moisture was found with the use of a moisture meter. Recommend opening wall to determine the source of moisture and extent of the damage.

Recommendation

Contact a qualified general contractor.

Needs Attention



22.3.2 Walls & Ceiling



Needs Attention

ORGANIC GROWTH

An organic growth was observed, which is a sign of a moisture problem. Recommend removal of damaged material and monitoring for moisture intrusion. If condition continues or worsens, an environmental hazards contractor may be necessary to help determine the best course of action.

Recommendation

Contact a qualified environmental contractor



22.5.1 Door(s)



Urgent & Safety

SAFETY GLASS NOT OBSERVED

Current practice calls for safety glass in doors, and any side lites or windows adjacent to doors. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified door repair/installation contractor.



22.5.2 Door(s)



Needs Attention

GAP AT EXTERIOR DOOR

The exterior door had gaps around it that will let outside elements and possibly pests into the home, as well as any conditioned air out of the home. Recommend weather-stripping or improving door alignment.

Recommendation

Contact a qualified door repair/installation contractor.



22.5.3 Door(s)



Urgent & Safety

KEYED DEADBOLT

Door had a deadbolt operated by a key on both sides (dual cylinder). These are considered a danger, especially in case of a fire, and should be replaced with a lever-operated (single cylinder) deadbolt.

Recommendation

Contact a qualified door repair/installation contractor.



22.8.1 Electrical



Urgent & Safety

RECEPTACLE WIRING DEFECT

Receptacle was wired incorrectly or not functional. Incorrect wiring of a receptacle could present a higher risk of shock or damage to equipment. Recommend correction.

Recommendation

Contact a qualified electrical contractor.



22.10.1 Ventilation



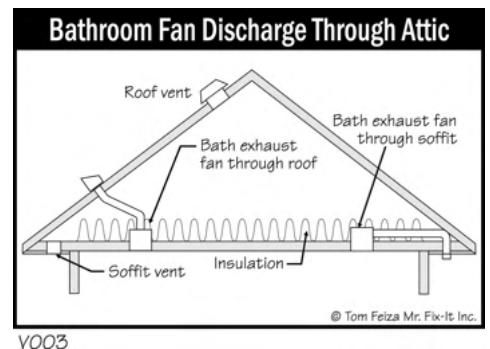
Information & Maintenance

RECOMMEND ADDING VENT FAN

No ventilation fan was installed. Recommend adding to help remove moisture from the room. Though a window meets code, a fan is more effective and can be used in all seasons.

Recommendation

Contact a qualified general contractor.



22.11.1 Sink



Needs Attention

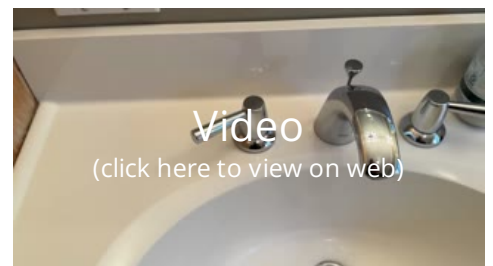
FAUCET HANDLE DEFECT

LEFT SINK

Sink faucet handle was **loose**, missing or could not be operated properly and should be repaired or replaced.

Recommendation

Contact a qualified plumbing contractor.



22.13.1 Cabinets



Information & Maintenance

PAST WATER DAMAGE UNDER SINK

Cabinet was damaged or stained from a past water leak. No leak observed during inspection.

Recommendation

Recommend monitoring.



22.15.1 Tub / Shower Enclosure



Needs Attention

WOOD SURROUND

Wood trim or paneling installed directly adjacent to a bathtub is prone to moisture exposure from regular bathing use. Over time, repeated splashing and steam can cause wood to absorb water, leading to deterioration such as swelling, rot, warping, and damage to finishes. These conditions can also promote mold growth and compromise the integrity of surrounding materials. A more water-resistant finish or material is recommended to prevent future damage.

Recommendation

Contact a qualified general contractor.



23: UNIT 1 - FIREPLACE - LIVING ROOM

Information

Reference Photo(s)



Fireplace Maintenance

Fireplaces require regular, ongoing maintenance. The amount of maintenance required is determined by the amount of use the fireplace gets. Recommend consulting a chimney sweep to help schedule maintenance as needed.

Fireplace Material	Type	Hearth Extension Material
Brick	Gas	Tile

Flue Inspection Limited

See Limitations tab

Limitations

Fireplace Overview

FLUE NOT INSPECTED

The chimney flue is not included in this inspection. A chimney sweep can clean the flue and use a camera to inspect the flue liner, to ensure there are no cracks or damaged areas that could potentially let harmful smoke or exhaust into the home. Cleaning the flue is a part of regular maintenance and the frequency will depend on how often the chimney is used.

Observations

23.1.1 Construction



Needs Attention

TILE DEFECT

Tile at fireplace was cracked, broken or missing. Damaged tile should be repaired or replaced.

Recommendation

Contact a qualified tile contractor



24: UNIT 1 - FIREPLACE - BEDROOM

Information

Reference Photo(s)



Fireplace Maintenance

Fireplaces require regular, ongoing maintenance. The amount of maintenance required is determined by the amount of use the fireplace gets. Recommend consulting a chimney sweep to help schedule maintenance as needed.

Fireplace Material	Type	Hearth Extension Material
Brick	Wood, Gas starter	Tile

Flue Inspection Limited

See Limitations tab

Limitations

Fireplace Overview

FLUE NOT INSPECTED

The chimney flue is not included in this inspection. A chimney sweep can clean the flue and use a camera to inspect the flue liner, to ensure there are no cracks or damaged areas that could potentially let harmful smoke or exhaust into the home. Cleaning the flue is a part of regular maintenance and the frequency will depend on how often the chimney is used.

25: UNIT 2 - KITCHEN

Information

Reference Photo(s)



HVAC Type

None observed

Ceiling

Drywall or Plaster

Window(s)

Single-paned

Sink

Cast iron

Cabinets

Wood, Composite

Walls

Drywall or Plaster

Floor

Tile

Lighting

Ceiling mounted

Countertop

Stone/Granite/Quartz

Appliance Reference Photo(s)

Unless otherwise noted in this report, all appliances observed were found to be functioning and in acceptable condition.



**Refrigerator**

GE

Ventilator

None present

Disposal

In-Sink-Erator

Cooking

GE

Dishwasher

Maytag

Cooking Type

Gas Range

Air Gap

None observed

Observations

25.3.1 Walls & Ceiling

CRACKS - TYPICAL

Surface was cracked. Crack appeared typical of normal settling and not indicative of a larger problem.

Recommendation

Recommend monitoring.



Information & Maintenance



25.7.1 Lighting

BULB OUT

Light fixture had a bulb missing or burnt out. Recommend replacement of bulb and testing of fixture.

Recommendation

Contact a handyman or DIY project



Information & Maintenance



25.8.1 Electrical



Information & Maintenance

FEW RECEPTACLES AT COUNTERS

Current practice calls for enough receptacles at kitchen counters such that no point on a counter is more than 24 inches from an receptacle. Recommend further evaluation by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.



25.14.1 Cooking



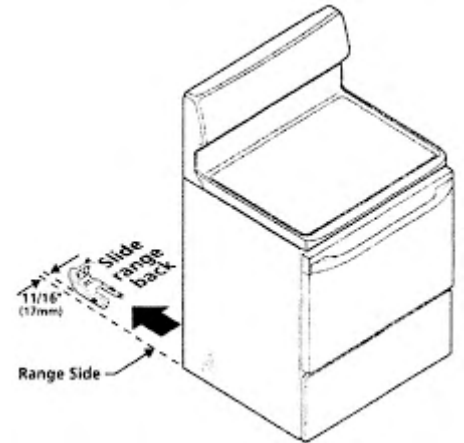
Urgent & Safety

ANTI-TIP BRACKET NOT PRESENT

Cooking appliance was not properly secured. For safety, an anti-tip device should be installed on every freestanding range.

Recommendation

Contact a handyman or DIY project



25.14.2 Cooking



Needs Attention

BURNER DID NOT LIGHT

Stove burner did not light or heat up on its own. Appliance should be serviced or repaired.

Recommendation

Contact a qualified appliance repair professional.



25.16.1 Ventilator



Needs Attention

NO EXHAUST SYSTEM

No vent was present. Current practice calls for powered ventilation in all kitchens to exhaust the moisture, heat and gas from the cooking appliance. In homes without an external vent present, a recirculating vent can be used.

Recommendation

Contact a qualified general contractor.



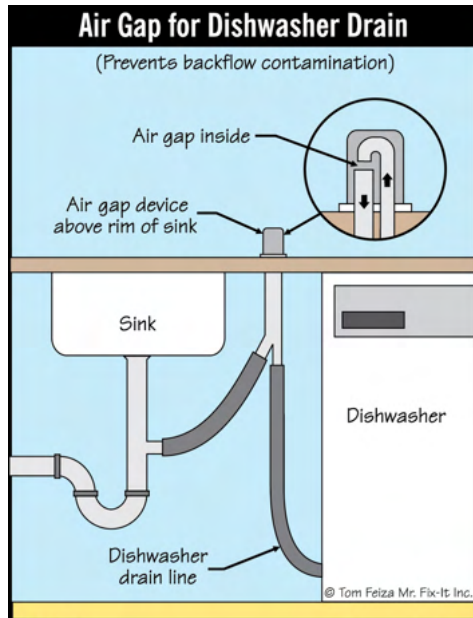
25.17.1 Dishwasher

**NO AIR GAP PRESENT**

Dishwasher did not have an air gap installed. A physical air gap helps protect the public water supply in case of a loss of pressure. Although required by the local building code, many people opt to go without. If this is the case, a high-loop of the dishwasher drain line under the counter is highly recommended (or some other means of backflow prevention).

Recommendation

Contact a qualified plumbing contractor.



25.17.2 Dishwasher

**RUST INSIDE**

Dishwasher rack was rusted, which will affect the performance of the washer. Recommend repair or replacement of rack.

Recommendation

Contact a qualified appliance repair professional.

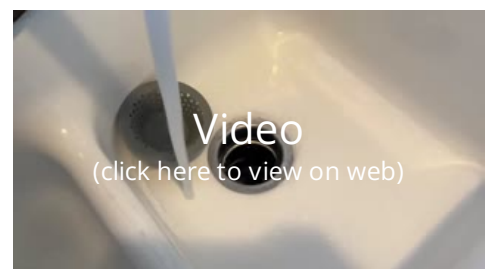


25.18.1 Disposal

**EXCESSIVE NOISE**

Disposal operated, but was noisy, which may indicate a need for adjustment or repair.

[Here is a helpful DIY troubleshooting video.](#)



26: UNIT 2 - LIVING ROOM

Information

Reference Photo(s)



Safety Device(s)
Combination Smoke + CO

HVAC Type
Wall or baseboard heater

Walls
Drywall or Plaster

Ceiling
Drywall or Plaster

Floor
Wood

Door(s)
Wood, Single-paned, Safety glass

Window(s)
Skylight(s), Single-paned

Lighting
Ceiling mounted

27: UNIT 2 - BEDROOM

Information

Reference Photo(s)



Safety Device(s)

None Observed

Walls

Drywall or Plaster

Floor

Wood

Door(s) 2

Wood, Single-paned, Safety glass

Lighting

Ceiling mounted

HVAC Type

None observed

Ceiling

Drywall or Plaster

Door(s)

Wood

Window(s)

Single-paned

Observations

27.1.1 Safety

BEDROOM SMOKE ALARM NEEDED

Current practice calls for a smoke alarm in every sleeping room. Recommend installation for occupants' safety.

(In order to avoid the confusion of naming rooms, for the purposes of our reports, a sleeping room is considered any room that would fit a bed inside and can be closed off from the public areas of the house.)

Recommendation

Contact a handyman or DIY project



MO11

27.4.1 Door(s)

KEYED DEADBOLT

Door had a deadbolt operated by a key on both sides (dual cylinder). These are considered a danger, especially in case of a fire, and should be replaced with a lever-operated (single cylinder) deadbolt.

Recommendation

Contact a qualified door repair/installation contractor.



27.4.2 Door(s)



Needs Attention

WOOD DECAY

Wood decay observed, which should be repaired or replaced to reduce chances of further decay or moisture intrusion.

Recommendation

Contact a qualified door repair/installation contractor.



27.5.1 Windows



Needs Attention

LATCH DEFECT

Window did not latch or lock properly and should be repaired for security purposes.

Recommendation

Contact a qualified window repair/installation contractor.



27.8.1 HVAC



Information & Maintenance

NO HEAT SOURCE IN ROOM

Current practice calls for all habitable spaces to be heated by a permanently installed appliance capable of maintaining the room at a minimum of 68 degrees. Recommend further evaluation by a qualified HVAC contractor.

Recommendation

Contact a qualified HVAC professional.



28: UNIT 2 - BATHROOM

Information

Reference Photo(s)



HVAC Type None observed	Walls Drywall or Plaster	Ceiling Drywall or Plaster
Floor Tile	Door(s) Composite / Hollow core	Door(s) 2 Wood, Single-paned, Safety glass
Window(s) Single-paned	Lighting Wall mounted, Ceiling mounted	Ventilation Vent fan, Openable window
Sink Porcelain	Countertop Porcelain	Cabinets Wood, Composite
Toilet Toto	Shower Tile surround, Tile shower pan	

GFI Protection: Present

GFI (Ground Fault Circuit Interrupter) protection is required at receptacles in wet locations or where water may be present. This includes all exterior receptacles, in garages, at kitchen counters, in bathrooms and near laundry sinks.

Observations

28.3.1 Walls & Ceiling

CRACKS - TYPICAL

Information & Maintenance

Surface was cracked. Crack appeared typical of normal settling and not indicative of a larger problem.

Recommendation

Recommend monitoring.



28.4.1 Floor

GROUT DEFECT

Information & Maintenance

Grout was damaged or missing and should be repaired. Grout holds the tiles in place and helps keep water from penetrating between the tiles.

Recommendation

Contact a qualified tile contractor



28.5.1 Door(s)

GAP AT EXTERIOR DOOR

Needs Attention

The exterior door had gaps around it that will let outside elements and possibly pests into the home, as well as any conditioned air out of the home. Recommend weather-stripping or improving door alignment.

Recommendation

Contact a qualified door repair/installation contractor.



28.5.2 Door(s)



Urgent & Safety

KEYED DEADBOLT

Door had a deadbolt operated by a key on both sides (dual cylinder). These are considered a danger, especially in case of a fire, and should be replaced with a lever-operated (single cylinder) deadbolt.

Recommendation

Contact a qualified door repair/installation contractor.



28.6.1 Windows



Urgent & Safety

SAFETY GLASS NOT OBSERVED IN BATHROOM

Current practice calls for safety glass when used in and around showers and tubs (within 5 feet) when the bottom edge is less than 5 feet above the ground. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified window repair/installation contractor.



28.6.2 Windows



Needs Attention

WOOD DECAY

Wood decay observed, which should be repaired or replaced to reduce chances of further decay or moisture intrusion.

Recommendation

Contact a qualified window repair/installation contractor.



28.7.1 Lighting

BULB OUT

Light fixture had a bulb missing or burnt out. Recommend replacement of bulb and testing of fixture.

Recommendation

Contact a handyman or DIY project



Information & Maintenance



28.11.1 Sink

SINK FINISH DAMAGED

Sink finish was chipped or cracked. The finish is the waterproofing that protects the material underneath. Recommend repair or replacement.

Learn more about how to repair small chips yourself [HERE](#).

Recommendation

Contact a qualified plumbing contractor.



Information & Maintenance



28.15.1 Tub / Shower Enclosure

TILE DEFECT AT SHOWER OR SURROUND

Tile was cracked or damaged at tub or shower surround. A small crack can be sealed and monitored. If crack worsens, tile should be replaced to help prevent water intrusion.

Recommendation

Recommend monitoring.



Information & Maintenance



29: UNIT 2 - WALL OR BASEBOARD HEATER

Information

Reference Photo(s)

Unless otherwise noted in this report, heater was found to be functioning and in acceptable condition.



Heater Type

Gas, Wall

Heater Inspection Limited

The HVAC unit in the room was not inspected. [See Limitations tab](#) for more information.

Limitations

Heater Overview

GAS NOT ON

Heating appliance could not be tested because the gas was not on. Recommend testing once gas service has been restored.



30: UNIT 3 - KITCHEN

Information

Reference Photo(s)



- Walls**
Drywall or Plaster
- Floor**
Tile
- Lighting**
Ceiling mounted
- Countertop**
Stone/Granite/Quartz

- Ceiling**
Drywall or Plaster
- Window(s)**
Single-paned
- Sink**
Stainless steel
- Cabinets**
Wood

Appliance Reference Photo(s)

Unless otherwise noted in this report, all appliances observed were found to be functioning and in acceptable condition.



- Refrigerator**
Haier
- Ventilator**
Unknown brand
- GFI Protection: Present**
GFI (Ground Fault Circuit Interrupter) protection is required at receptacles in wet locations or where water may be present. This includes all exterior receptacles, in garages, at kitchen counters, in bathrooms and near laundry sinks.

- Cooking**
Hotpoint
- Vent Type**
Vents to exterior

- Cooking Type**
Gas Range

Observations

30.1.1 GFI Protection



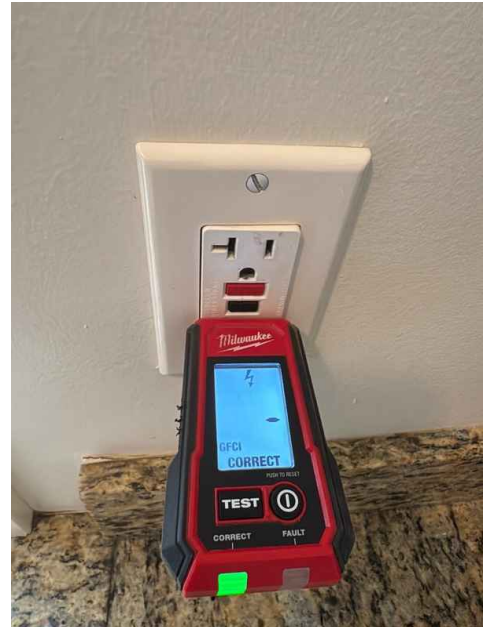
Urgent & Safety

GFI DEFECT

GFI device was not functional. It did not trip when tested, would not reset after testing, or was mis-wired. GFI device should be repaired or replaced for occupants' safety.

Recommendation

Contact a qualified electrical contractor.



30.3.1 Walls & Ceiling



Information & Maintenance

SURFACE DAMAGE

Surface had a gap, dent or hole and should be repaired.

Recommendation

Contact a handyman or DIY project



30.9.1 Sink



Information & Maintenance

CAULK DEFECT

Caulk around the sink was damaged or missing. It should be repaired to help keep water from dripping into the cabinet below the sink and causing damage.

Recommendation

Contact a qualified countertop contractor.



30.9.2 Sink



Information & Maintenance

CORROSION

Sink plumbing had corrosion, which is a sign of a slow leak over time. Recommend cleaning or monitoring.

Recommendation

Recommend monitoring.



30.14.1 Cooking



Needs Attention

INADEQUATE CLEARANCE TO COMBUSTIBLES

Little or no clearance was present between the stove and nearby combustible materials. Stoves should be installed according to the manufacturer's instructions.

Generally, an electric range may not need clearance, but up to 6 inches may be preferred to help prevent damage to certain materials and a gas range should have 3-6 inches of clearance to any combustible materials.

If no space is available for movement, a heat shield of non-combustible material may be a viable alternative.

Recommendation

Contact a qualified general contractor.



31: UNIT 3 - LIVING ROOM

Information

Reference Photo(s)



Safety Device(s)
Combination Smoke + CO

HVAC Type
Wall or baseboard heater

Walls
Drywall or Plaster

Ceiling
Drywall or Plaster

Floor
Wood

Door(s)
Wood, Single-paned

Window(s)
Single-paned

Lighting
Ceiling mounted, Wall mounted

Observations

31.2.1 Walls & Ceiling

CRACKS - TYPICAL

Surface was cracked. Crack appeared typical of normal settling and not indicative of a larger problem.

Recommendation
Recommend monitoring.

 Information & Maintenance



31.3.1 Floor

FLOOR UNEVEN

Information & Maintenance

Floor had an area of unevenness that could be due to settling or imperfection of the installed flooring and subfloor. Unless paired with other signs of major damage, it is not likely to be a significant concern.

Recommendation

Recommend monitoring.



31.4.1 Door(s)

SAFETY GLASS NOT OBSERVED

Urgent & Safety

Current practice calls for safety glass in doors, and any side lites or windows adjacent to doors. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified door repair/installation contractor.



31.4.2 Door(s)

WOOD DECAY

Needs Attention

Wood decay observed, which should be repaired or replaced to reduce chances of further decay or moisture intrusion.

Recommendation

Contact a qualified door repair/installation contractor.



31.5.1 Windows

SAFETY GLASS NOT OBSERVED**Urgent & Safety**

Current practice calls for safety glass when windows are positioned within 18 inches of the floor, large enough to fall through or **adjacent to doors**. Recommend correction for occupants' safety.

Safety glass (or tempered glass) can be identified by a marking etched into the glass. In certain cases, it is possible that safety glass is present, but the etching was not observed.

Recommendation

Contact a qualified window repair/installation contractor.



32: UNIT 3 - BEDROOM

Information

Reference Photo(s)



Safety Device(s)

None Observed

Walls

Drywall or Plaster

Floor

Wood

Window(s)

Single-paned

HVAC Type

None observed

Ceiling

Drywall or Plaster

Door(s)

Wood

Lighting

Ceiling mounted

Observations

32.1.1 Safety

BEDROOM SMOKE ALARM NEEDED

Current practice calls for a smoke alarm in every sleeping room. Recommend installation for occupants' safety.

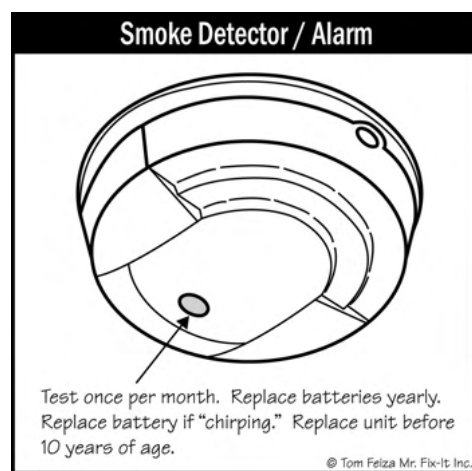
(In order to avoid the confusion of naming rooms, for the purposes of our reports, a sleeping room is considered any room that would fit a bed inside and can be closed off from the public areas of the house.)

Recommendation

Contact a handyman or DIY project



Urgent & Safety



MO11

32.2.1 Walls & Ceiling

CRACKS - TYPICAL

Surface was cracked. Crack appeared typical of normal settling and not indicative of a larger problem.

Recommendation

Recommend monitoring.



Information & Maintenance



32.2.2 Walls & Ceiling

MOISTURE DAMAGE

Surface had signs of moisture damage but was not currently wet. Recommend replacement of damaged material and monitoring the area. Damage may extend beyond what is visible.

Recommendation

Contact a qualified drywall contractor.



32.5.1 Windows

LATCH DEFECT

Window did not latch or lock properly and should be repaired for security purposes.

Recommendation

Contact a qualified window repair/installation contractor.



32.8.1 HVAC

NO HEAT SOURCE IN ROOM

Current practice calls for all habitable spaces to be heated by a permanently installed appliance capable of maintaining the room at a minimum of 68 degrees. Recommend further evaluation by a qualified HVAC contractor.

Recommendation

Contact a qualified HVAC professional.



33: UNIT 3 - BATHROOM

Information

Reference Photo(s)



Room Limitation(s)

A portion of the room was not inspected. [See Limitations tab](#) for more information.

HVAC Type

None observed

Walls

Drywall or Plaster, Tile

Ceiling

Drywall or Plaster

Floor

Tile

Door(s)

Wood

Window(s)

Glass block

Lighting

Wall mounted

Ventilation

Vent with light

Sink

Porcelain, Pedestal

Toilet

Toto

Tub

Jetted tub, Tile surround

GFI Protection: Present

GFI (Ground Fault Circuit Interrupter) protection is required at receptacles in wet locations or where water may be present. This includes all exterior receptacles, in garages, at kitchen counters, in bathrooms and near laundry sinks.

Limitations

Spa Tub

SPA TUB NOT TESTED

The spa tub was not inspected, as the tub could not be safely filled to the proper level. Recommend further evaluation by a qualified plumber.



Observations

33.10.1 Ventilation

BULB OUT

Fixture had a bulb missing or burnt out. Recommend replacement of bulb and testing of fixture.

Recommendation

Contact a handyman or DIY project



Information & Maintenance



33.11.1 Sink

CORROSION

Sink plumbing had corrosion, which is a sign of a slow leak over time. Recommend cleaning or monitoring.

Recommendation

Recommend monitoring.



Information & Maintenance



33.11.2 Sink

FAUCET LOOSE

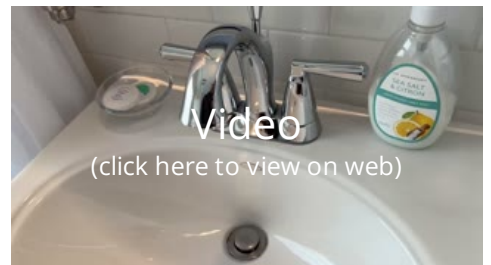
Faucet was loose and should be secured. Loose faucets can lead to leaks or allow water intrusion under the counter.

Recommendation

Contact a qualified plumbing contractor.



Needs Attention



33.15.1 Tub / Shower Enclosure

TILE DEFECT AT SHOWER OR SURROUND

Tile was cracked or damaged at tub or shower surround. A small crack can be sealed and monitored. If crack worsens, tile should be replaced to help prevent water intrusion.

Recommendation

Recommend monitoring.



Information & Maintenance



34: UNIT 3 - HALLWAY & STAIRS

Information

Reference Photo(s)



Safety Device(s)

None Observed

Floor

Wood

Stair Treads

Wood

Walls

Drywall or Plaster

Window(s)

Single-paned

Handrail at Stairs

Wood

Ceiling

Drywall or Plaster

Lighting

Wall mounted, Ceiling mounted

Observations

34.1.1 Safety

SMOKE ALARM NEEDED

Current practice calls for a smoke alarm in each bedroom and one **outside any sleeping area**, with at least one on each level of the home. Recommend installation for occupants' safety.

Recommendation

Contact a handyman or DIY project

 Urgent & Safety



34.1.2 Safety



Urgent & Safety

CO ALARM NEEDED

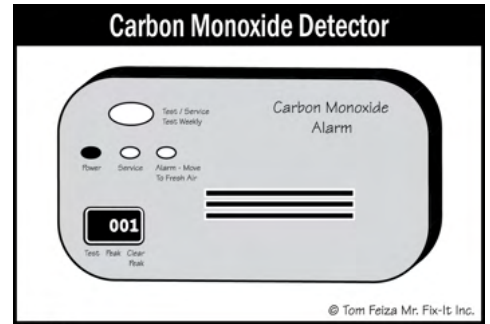
Current practice calls for a Carbon Monoxide (CO) Alarm **outside of any sleeping area** with at least one on each level of the home.

Recommend installation for occupants' safety.

CO Alarms should also be located in any sleeping room that contains a gas-fired appliance.

Recommendation

Contact a handyman or DIY project



M020

34.2.1 Stairway



Urgent & Safety

NO RETURN AT RAIL

The stair railing did not have a return to the wall at the end, which is considered a safety hazard. Because straps, clothing or especially firefighting equipment may get caught on the end of the railing, all handrails should have a return to the wall at their ends.

Recommendation

Contact a qualified general contractor.



34.2.2 Stairway



Urgent & Safety

SAFETY GLASS NOT OBSERVED AT STAIRWAY

Current practice calls for windows in stairways or adjacent landings to be made of safety glass if the window is within 60 inches of the top of the nearest stair tread. Recommend installation of safety glass for occupants' safety.

Recommendation

Contact a qualified window repair/installation contractor.



34.7.1 Lighting



Urgent & Safety

SWITCH COVER DEFECT

Light switch cover plate was broken or missing. The cover prevents access to the live electrical conductors within. Cover should be installed.

Recommendation

Contact a handyman or DIY project



35: UNIT 3 - WALL OR BASEBOARD HEATER

Information

Reference Photo(s)

Unless otherwise noted in this report, heater was found to be functioning and in acceptable condition.



Heater Type

Gas, Wall

Heater Inspection Limited

The HVAC unit in the room was not inspected. [See Limitations tab](#) for more information.

Limitations

Heater Overview

PILOT NOT LIT

Heater was not inspected because the pilot light was not lit. Without knowing why it had been extinguished, it should not be re-lit. Recommend testing appliance before use.



36: UNIT 3 - FIREPLACE

Information

Reference Photo(s)



Fireplace Maintenance

Fireplaces require regular, ongoing maintenance. The amount of maintenance required is determined by the amount of use the fireplace gets. Recommend consulting a chimney sweep to help schedule maintenance as needed.

Fireplace Inspection Limited

[See Limitations tab](#)

Limitations

Fireplace Overview

FLUE NOT INSPECTED

The chimney flue is not included in this inspection. A chimney sweep can clean the flue and use a camera to inspect the flue liner, to ensure there are no cracks or damaged areas that could potentially let harmful smoke or exhaust into the home. Cleaning the flue is a part of regular maintenance and the frequency will depend on how often the chimney is used.

Fireplace Overview

OBSTRUCTED

Fireplace or its components were not inspected due to occupant's belongings obstructing access.

